

WHITESSELL PROPERTY

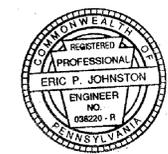
FINAL MINOR SUBDIVISION/LAND DEVELOPMENT PLAN

SHREWSBURY TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SITE DATA:

SITE AREA:	159,778 SF OR 3.668 AC NET AREA
TOTAL NUMBER OF LOTS PROPOSED:	5 LOTS
PROPOSED USE:	SINGLES-FAMILY DWELLINGS
LINEAL FEET OF NEW STREET:	446 LF +/- (PRIVATE STREET - NOT FOR DEDICATION)
ZONING:	SR - SUBURBAN RESIDENTIAL RECEIVING DISTRICT
MINIMUM LOT AREA PERMITTED:	12,000 SF (GROSS AREA) - WITH PUBLIC SEWER & WATER
MINIMUM PROPOSED LOT AREA:	27,997 SF (LOT 4)
MINIMUM LOT WIDTH PERMITTED:	80 FT. @ MIN. FRONT SETBACK
MINIMUM PROPOSED LOT WIDTH:	80 FT.
SETBACKS:	FRONT SETBACK - 10 FT. SIDE SETBACK - 15 FT. REAR SETBACK - 10 FT.
MAX. DENSITY PERMITTED:	3 DWELLING UNITS/ ACRE = 11.0 DWELLING UNITS PERMITTED (3 X 3.668 ACRES NET AREA)
MAX. DENSITY PROPOSED:	0.73 DWELLINGS/ACRE (5 DWELLINGS PROPOSED)
MAX. BUILDING HEIGHT:	40 FT.
MAX. LOT COVERAGE PERMITTED:	70%
MAX. PROPOSED IMPERVIOUS COVERAGE:	18% (LOT 5)
REQUIRED PARKING:	2/ DWELLING (OFFSTREET)
PROPOSED PARKING:	2/ DWELLING (OFFSTREET)
SEWAGE DISPOSAL:	PUBLIC (SHREWSBURY BOROUGH MUNICIPAL AUTHORITY)
WATER SUPPLY:	PUBLIC (YORK WATER COMPANY)
DEED REFERENCE:	1367-4579
PARCEL IDENTIFICATION NUMBER (PIN):	4500010201L

Johnston & Associates, Inc.
 2386 TAXVILLE ROAD
 YORK, PA. 17408
 PHONE: 717-793-9595 FAX: 717-793-9696
 EMAIL: johnston7@comcast.net



ENGINEER:
 I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED PLANS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SHREWSBURY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THAT THE PROPOSED STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE SHREWSBURY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
 Eric Johnston, P.E. #038220-R Date: 3/11/2016

PA. DEP SEWAGE PLANNING CODE NO. _____

GENERAL NOTES:

- PERIMETER SURVEY ESTABLISHED BY DAVID A. HOFFMAN, PLS - 2355 CARLISLE ROAD, YORK PA. 17408. PHONE: 717-854-2154. SITE BENCHMARK: TOP OF EXISTING IRON PIN AS SHOWN ON SHEET 2 OF THIS PLAN. ELEVATION = 930.20. DATUM = NAVD 88.
- IRON PINS (#5 REBAR, 30" IN LENGTH) SHALL BE SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED. TWO (2) CONCRETE MONUMENTS ARE PROPOSED. SEE SHEET 3 FOR LOCATIONS.
- SHREWSBURY TOWNSHIP, THE SHREWSBURY TOWNSHIP BOARD OF SUPERVISORS AND THE SHREWSBURY TOWNSHIP PLANNING COMMISSION DO NOT WARRANT AND ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE PROPOSED LOTS SET FORTH UPON THIS SUBDIVISION PLAN NOR DO THEY WARRANT THE TITLE TO THE PROPERTY SET FORTH UPON SUCH PLAN. RATHER, THEY RELY UPON THE REPRESENTATIONS MADE BY THE SUBDIVIDER, LAND DEVELOPER, ENGINEER AND SURVEYOR WHO HAVE PREPARED THE PLAN.
- SOLID WASTE DISPOSAL SHALL BE COLLECTED BY A SPECIFIED HAULER.
- NO WETLANDS ARE LOCATED ON THE SITE PER A SITE INVESTIGATION CONDUCTED BY JOHNSTON & ASSOCIATES, INC. ON MARCH 1, 2016.
- NO FLOODPLAINS OR FLOODWAYS ARE LOCATED ON THE SITE. THE PROPERTY IS NOT LOCATED IN ANY FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP 42133C0468F EFFECTIVE 12/16/2015.
- NO BUILDING RESTRICTIONS OR PROTECTIVE COVENANTS ARE PROPOSED.
- ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND SHOULD BE VERIFIED PRIOR TO ANY EARTH MOVING ACTIVITIES. PA LAW REQUIRES THREE (3) WORKING DAYS NOTICE BEFORE ANY EXCAVATION, BLASTING OR DEMOLITION TAKES PLACE. CALL PA ONE CALL SYSTEMS AT 1-800-242-1778.
- PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ENOUGH TOPSOIL SHALL BE SPREAD ON DISTURBED AREAS OF THE SITE TO PROVIDE A MINIMUM OF NINE (9) INCHES OF TOPSOIL THROUGHOUT THE VEGETATED AREAS OF THE SITE.
- A PRIVATE, OWNER MAINTAINED DRIVEWAY STREET LIGHT IS TO BE INSTALLED ON EACH LOT AT THE DRIVEWAY ENTRANCE. EACH DWELLING LOT MUST UTILIZE FIFTY WATT (MINIMUM) HIGH PRESSURE SODIUM POST LIGHTS AND BE EQUIPPED WITH AN ELECTRIC EYE. THE PROPERTY OWNER MUST MAKE ADEQUATE PROVISION TO ENSURE THE PERPETUAL MAINTENANCE OF SAID DRIVEWAY STREET LIGHTS AND TO ENSURE THE ELECTRIC EYE IS NOT MODIFIED OR ADJUSTED BY THE OWNER SO AS TO PRECLUDE THE LIGHT FROM FUNCTIONING AS DESIGNED.
- DRIVEWAY SLOPE SHALL NOT EXCEED 5% WITHIN 25 FEET OF ITS INTERSECTION WITH A STREET.
- NO BUILDING OR CONSTRUCTION IS PERMITTED WITHIN CLEAR SIGHT TRIANGLES. HOWEVER, OBSTRUCTIONS OR PLANTINGS LESS THAN THREE (3) FEET IN HEIGHT SHALL BE PERMITTED. IF NOT OBSTRUCTING THE VIEW OF TRAFFIC, POST COLUMNS AND TREES NOT EXCEEDING ONE (1) FOOT IN DIAMETER SHALL BE PERMITTED.
- ALL SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SHREWSBURY BOROUGH MUNICIPAL AUTHORITY. ALL UTILITIES AND STRUCTURES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE SHREWSBURY BOROUGH MUNICIPAL AUTHORITY CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL CONFORM TO THE AUTHORITY'S PLAN, DESIGN AND CONSTRUCTION STANDARDS FOR SANITARY SEWERS UNLESS SPECIFIC WAIVERS ARE GRANTED. IT IS THE CONTRACTORS RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION.
- ALL WATER CONSTRUCTION AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF THE YORK WATER COMPANY.
- ALL ON LOT STORMWATER MANAGEMENT FACILITIES FOR THIS SITE SHALL BE OWNED, OPERATED AND MAINTAINED BY THE RESPECTIVE LOT OWNER. MAINTENANCE SHALL CONSIST OF KEEPING THE INLET GRATE FREE OF DEBRIS, REPAIRING OR REPLACING PIPES, AND ANY OTHER EFFORT NECESSARY TO ENSURE THAT ALL STRUCTURES REMAIN FUNCTIONAL AT ALL TIMES. IF THE TOWNSHIP DETERMINES AT ANY TIME THE STORMWATER MANAGEMENT FACILITIES HAVE BEEN ELIMINATED, ALTERED OR IMPROPERLY MAINTAINED, THE OWNER OF THE PROPERTY SHALL BE ADVISED OF CORRECTIVE MEASURES REQUIRED AND GIVEN SIXTY (60) DAYS FROM THE DATE SUCH NOTICES ARE SENT TO TAKE NECESSARY CORRECTIVE ACTION AND THE PROCEDURES OF SECTION 517.8 SHALL APPLY. THIS NOTE SHALL APPEAR IN THE RECORDED DEEDS FOR ALL LOTS.
- THE LOT OWNERS HEREBY ACKNOWLEDGE THAT STORMWATER MANAGEMENT BMPs ARE TO BE PERMANENT FIXTURES WHICH CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY SHREWSBURY TOWNSHIP. THIS NOTE SHALL APPEAR IN THE RECORDED DEEDS FOR ALL LOTS.
- A 10' WIDE UTILITY AND STORMWATER EASEMENT SHALL EXIST ALONG ALL SIDE AND REAR PROPERTY LINES UNLESS OTHERWISE SHOWN.
- MELODY LANE IS DESIGNATED AS PRIVATE AND IS NOT OFFERED FOR DEDICATION FOR PUBLIC USE. BY APPROVAL OF THIS PLAN, SHREWSBURY TOWNSHIP ASSUMES NO RESPONSIBILITY OR LIABILITY TO MAINTAIN, REPAIR OR PROVIDE OTHER MUNICIPAL STREET SERVICES FOR MELODY LANE.
- MELODY LANE SHALL PROVIDE THE ONLY ACCESS FOR NEWLY CREATED LOTS 1-5.
- AN UNRESTRICTED ACCESS IS HEREBY GRANTED TO SHREWSBURY TOWNSHIP OR THEIR ASSIGNS WITHIN THE PRIVATE RIGHT OF WAY ASSOCIATED WITH MELODY LANE TO ACCESS SANITARY SEWER & STORMWATER MANAGEMENT FACILITIES.
- A JOINT ACCESS AND MAINTENANCE AGREEMENT, OUTLINING THE RESPONSIBILITIES OF LOTS 1-5 REGARDING PRIVATE STREET AND INFILTRATION TRENCH MAINTENANCE SHALL BE PREPARED AND SUBMITTED TO SHREWSBURY TOWNSHIP FOR REVIEW AND APPROVAL. SAID AGREEMENT SHALL BE PROVIDED TO THE PROSPECTIVE LOT BUYERS PRIOR TO SETTLEMENT AND BE INCLUDED IN THE RECORDED DEEDS FOR THE INDIVIDUAL PROPERTY OWNERS.

NET AREA TABULATION FOR UNIT DENSITY

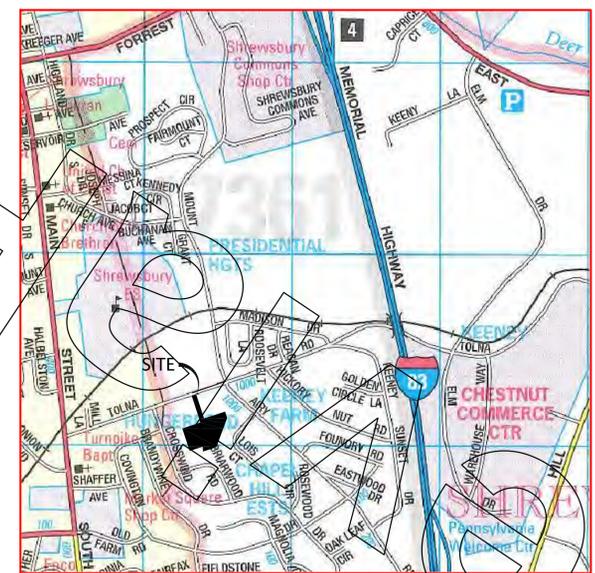
CEA's	0 SF
EXISTING EASEMENTS	0 SF
TOTAL	0 SF
EX. NET AREA	159,778 SF
NET AREA FOR UNIT DENSITY	159,778 SF OR 3.668 ACRES

* APPLICANT PROPOSES PAYMENT OF FEE IN LIEU OF DEDICATION OF RECREATION LANDS.

IMPERVIOUS AREA:
 THE STORMWATER MANAGEMENT CALCULATIONS ASSUME THE FOLLOWING NEW IMPERVIOUS SURFACE APPLICATION FOR EACH LOT:
 LOTS 1,2,4 & 5 - 3,810 SF EACH LOT
 LOT 3 - EXISTING DWELLING & DRIVEWAY TURNAROUND TO REMAIN (SEE PLAN). NEW DRIVEWAY CONNECTION ASSUMED AT 1,200 SF
 AREAS ARE BASED UPON ALL IMPERVIOUS IMPROVEMENTS, EXCLUDING THE PRIVATE STREET, ON EACH LOT. ANY IMPERVIOUS SURFACE APPLICATION EXCEEDING THE DESIGN ASSUMPTION FOR EACH LOT WILL REQUIRE ADDITIONAL STORMWATER REVIEW BY SHREWSBURY TOWNSHIP.



LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY JOHNSTON & ASSOC., INC. CONTRACTOR SHOULD CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PRIOR TO ANY EXCAVATION AS REQUIRED BY PA ACT 187, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE DECEMBER 19, 1996.
 SERIAL #: 20160491457



LOCATION MAP

SCALE: 1" = 1000'

SHEET INDEX:

- | | |
|----------------|---------------------------------|
| SHEET 1 | COVER SHEET |
| SHEET 2 | EXISTING CONDITIONS PLAN |
| SHEET 3 | SUBDIVISION PLAN |
| SHEET 4 | LAND DEVELOPMENT PLAN |
| SHEET 5 | GRADING & UTILITY PLAN |
| SHEET 6 | LANDSCAPE PLAN |
| SHEET SW1 OF 3 | PCSM - EXISTING CONDITIONS PLAN |
| SHEET SW2 OF 3 | PCSM PLAN |
| SHEET SW3 OF 3 | PCSM PLAN |

EROSION AND SEDIMENTATION CONTROL PLANS PREPARED SEPARATELY AND WILL BE PROVIDED TO SHREWSBURY TOWNSHIP UPON APPROVAL BY THE YORK COUNTY CONSERVATION DISTRICT. NO CONSTRUCTION MAY BEGIN UNTIL THE E&S PLAN IS APPROVED.

OWNER:
 KENDALL W. WHITESSELL & JEANNE E. WHITESSELL
EQUITABLE OWNER:
 TERRA NOVA LAND DEVELOPMENT CO.
 18147 AMANDA LANE
 NEW FREEDOM, PA. 17349

EDU'S ASSIGNED TO EACH LOT

LOT #	EDU's
1	(1) CERTIFICATE # - _____
2	(1) CERTIFICATE # - _____
3	(1) CERTIFICATE # - _____
4	(1) CERTIFICATE # - _____
5	(1) CERTIFICATE # - _____

UNIFORM PARCEL IDENTIFICATION NUMBERS

LOT #	UPI NUMBER	STREET ADDRESS
1		
2		
3		
4		
5		

PARCEL HISTORY:

SIZE OF TRACT AS OF NOVEMBER 10, 1976: 30.7 ACRES PER DEED BOOK 52G PAGE 0066
 NUMBER OF DWELLING UNITS PERMITTED: N/A TO SR - SUBURBAN RESIDENTIAL ZONE
 NUMBER OF DWELLING UNITS UTILIZED PRIOR: N/A TO SR-SUBURBAN RESIDENTIAL ZONE

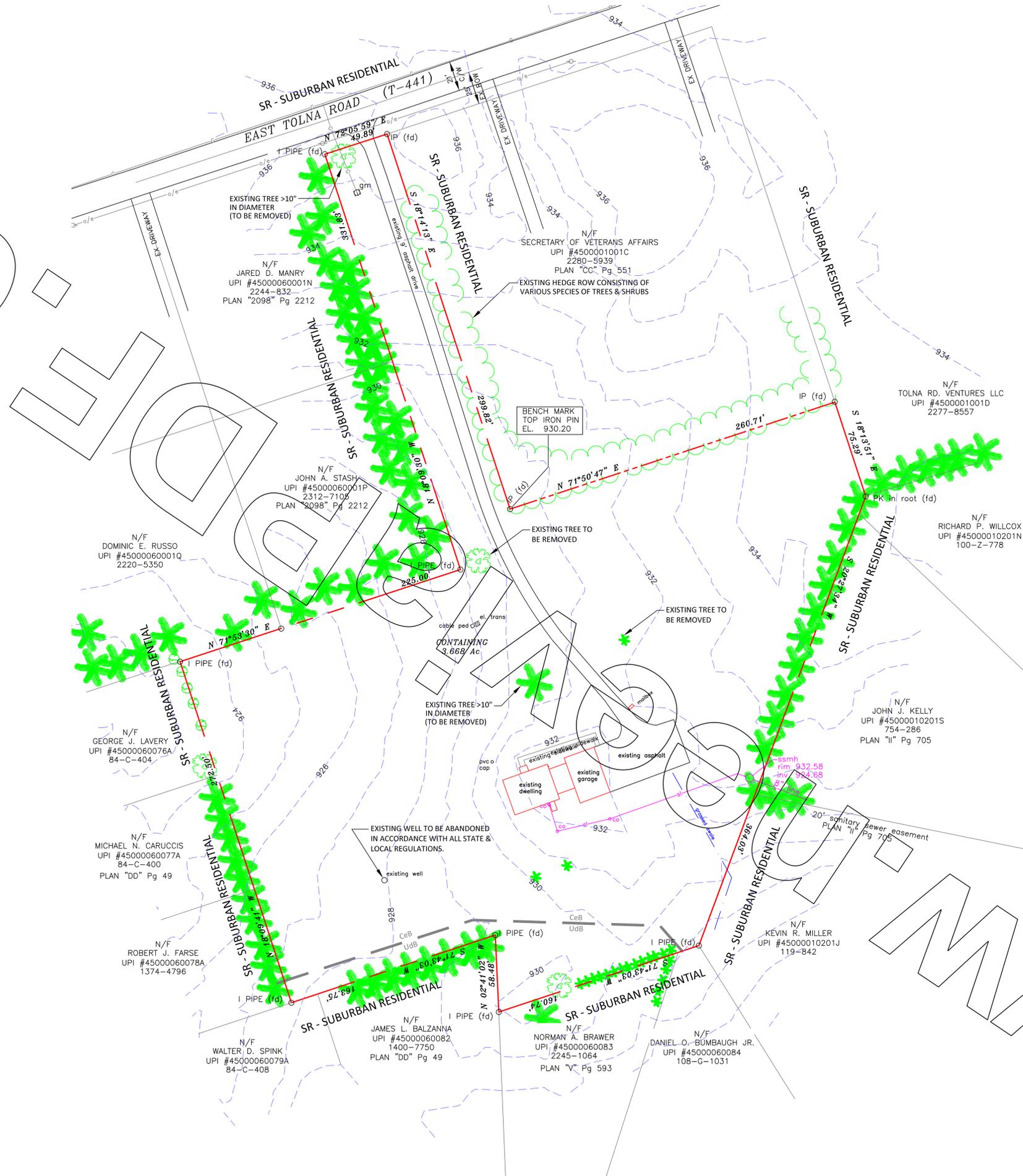
PLAN REFERENCE	USE	DWELLING UNITS	ACREAGE	DATE
BOOK CQ, PAGE 561	SUBDIVISION	N/A	16.56 AC.	2/14/1981
BOOK DP, PAGE 649	SUBDIVISION	N/A	15.57 AC.	12/05/1981
BOOK II, PAGE 708	SUBDIVISION	N/A	3.668 AC.	6/03/1988

WAIVERS:

- SLDO SECTION 404.5.F - SEWER FEASIBILITY STUDY (PUBLIC SEWER IS AVAILABLE ON SITE) IN THE SUBDIVISION
 APPROVED: _____
- SLDO SECTION 601.3 - LOCATION OF MONUMENTS (2) CONCRETE MONUMENTS EXISTING
 APPROVED: _____
- SLDO SECTION 606 - SIDEWALKS (NO SIDEWALKS PROPOSED ALONG MELODY LANE)
 APPROVED: _____
- SLDO SECTION 610.2 - PRIVATE OWNER MAINTAINED STREET LIGHTS (PERMANENT USE OF DIFFERENT BULB)
 APPROVED: _____
- SLDO SECTION 704.1 - LANDSCAPE ARCHITECT CERTIFICATION (NO CERTIFICATION PROPOSED)
 APPROVED: _____
- 709.1.E - PERMIT NO STREET TREE PLANTING ALONG THE PANHANDLE PORTION OF THE LOT DUE TO CONFLICTS WITH EXISTING TREES, PROPOSED UTILITIES & STORMWATER BMPs.
 APPROVED: _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR YORK COUNTY, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ DATE _____

Woods



LEGEND:

- 926 EXISTING CONTOUR
- EXISTING SANITARY SEWER - 8" PVC
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SEWER LATERAL & CLEANOUT
- EXISTING ELECTRICAL TRANSFORMER
- EXISTING CABLE PEDISTEL
- EXISTING GAS METER
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB
- EXISTING EVERGREEN TREES
- EXISTING HEDGE ROW
- PROPERTY CORNER MARKER (FOUND)
- PROPERTY CORNER MARKER (FOUND)
- PROPERTY CORNER MARKER (FOUND)

- NOTES:**
- NO CRITICAL ENVIRONMENTAL AREAS ARE LOCATED ON THE SITE.
 - NO LAKES, PONDS, WATER COURSES, SPRINGS, SEEPS, 100-YR FLOOD PLAINS, WETLANDS, STEEP SLOPES (TWENTY-FIVE PERCENT (25%) OR GREATER), OR BUFFER AREAS IDENTIFIED AND DELINEATED PURSUANT TO ARTICLE 13 OF THE SHREWSBURY TOWNSHIP ZONING ORDINANCE ARE LOCATED ON THE SITE.

- SOILS:**
- CeB - CHESTER SILT LOAM 3-8% SLOPES
HYDROLOGIC GROUP - B
HYDRIC RATING - 0%
 - UdB - URBAN LAND - CHESTER COMPLEX - 0-8% SLOPES
HYDROLOGIC GROUP - NOT RATED (USE CHESTER RATING OF GROUP B)
HYDRIC RATING - 0%

HYDRIC RATING DESCRIPTION:

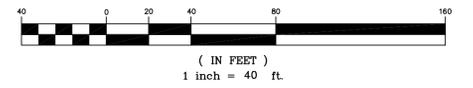
- HYDRIC (100%)
- PREDOMINANTLY HYDRIC (66 TO 99%)
- PARTIALLY HYDRIC (33 TO 65%)
- PREDOMINANTLY NON HYDRIC (1 TO 32%)
- NONHYDRIC (0%)

PLAN SYMBOL FOR SOILS:



Eric P. Johnston

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY

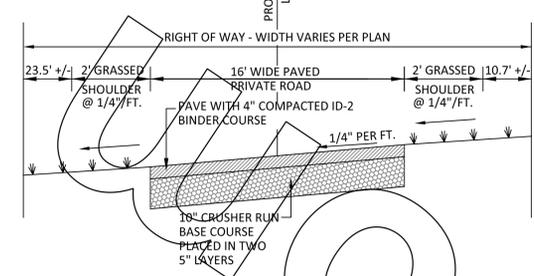
WHITESELL PROPERTY
EXISTING CONDITIONS PLAN
TERRA NOVA LAND DEVELOPMENT CO.
 18147 AMANDA LANE
 NEW FREEDOM, PA. 17349
 PHONE: 717-227-2754

SHREWSBURY TOWNSHIP YORK COUNTY, PA
 SCALE: 1"=40'
 DATE: 3/11/16
 NO.: 2016-08

JOHNSTON AND ASSOCIATES, INC
 2386 TAXVILLE ROAD
 YORK, PA. 17408
 PHONE: 717-793-9595

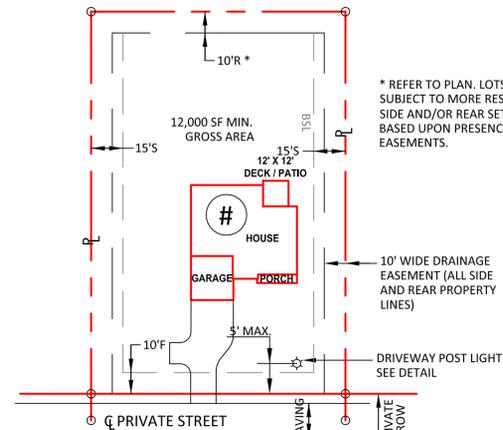
DR.: KAR
 CK.: EPJ
 SHEET 2 OF 6

PRIVATE STREET MUST CONFORM WITH SHREWSBURY TOWNSHIP DESIGN STANDARDS



TYPICAL STREET SECTION - PRIVATE STREET
NO SCALE

NOTE: THE OWNERS OF LOTS 1-5 ARE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE PRIVATE STREET. SEE NOTES 19-22 ON SHEET 1 FOR ADDITIONAL INFORMATION.
NOTE: PRIVATE STREET LOCATED OFF CENTER OF PRIVATE RIGHT OF WAY TO MINIMIZE IMPACT ON EXISTING MATURE TREES LOCATED ON MANRY & STASH PROPERTIES.

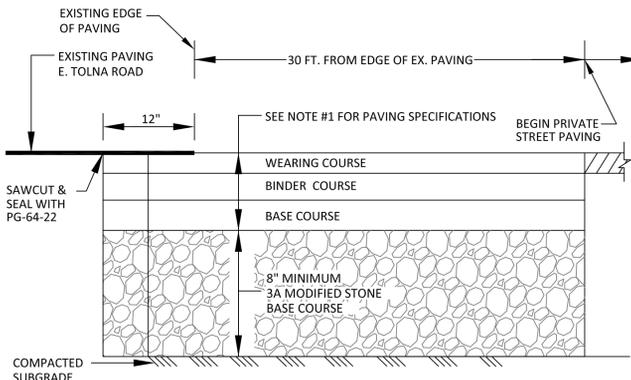


TYPICAL SINGLE FAMILY LOT - PRIVATE STREET
SCALE: 1" = 40 FT.

STREET SIGN LEGEND:

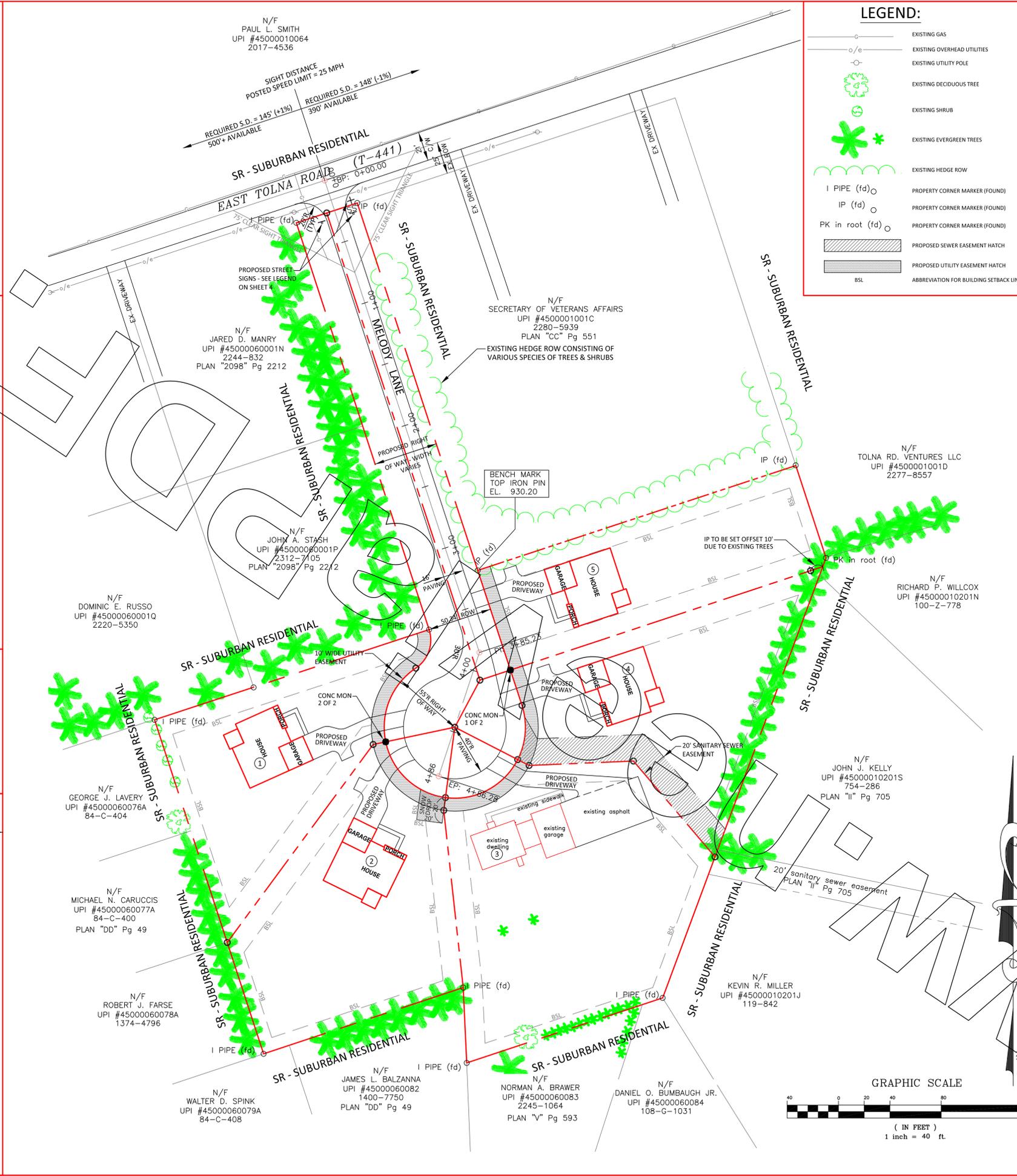
- + STREET IDENTIFICATION SIGN (**D3-1) (1 REQUIRED)
- STOP SIGN (**R1-1) (1 REQUIRED)
- PRIVATE STREET - DO NOT ENTER (1 REQUIRED)

*ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH SHREWSBURY TOWNSHIP REQUIREMENTS
** REFER TO PADOT MANUAL FOR SIZE SPECIFICATIONS.



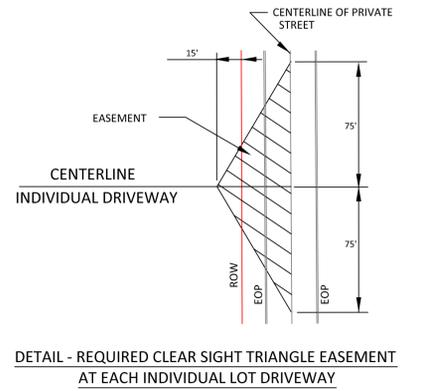
ENTRANCE PAVING DETAIL
NOT TO SCALE

#1: PAVING SPECIFICATIONS:
* SUPERPAVE BITUMINOUS CONCRETE BASE COURSE: SHALL BE A MINIMUM 3" DEPTH, HMA BASE COURSE, PG 64-22, 0.3-3.0 MILLION DESIGN ESALS, 25 MM MIXTURE.
* SUPERPAVE BITUMINOUS CONCRETE BINDER COURSE: SHALL BE MINIMUM 2" DEPTH, HMA BINDER COURSE, PG 64-22, 0.3-3.0 MILLION DESIGN ESALS, 19.0 MM MIXTURE
* SUPERPAVE BITUMINOUS CONCRETE WEARING COURSE: SHALL BE MINIMUM 1-1/2" DEPTH, HMA WEARING COURSE, PG 64-22, 0.3-3.0 MILLION DESIGN ESALS, 9.5 MM MIXTURE, SRL-M

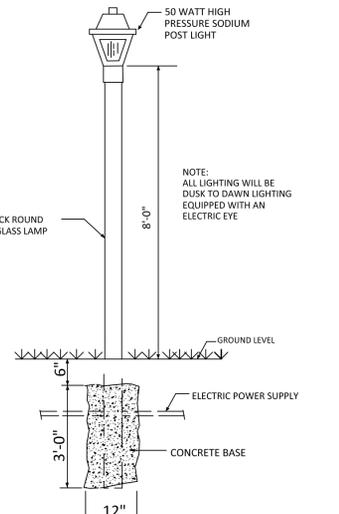


LEGEND:

- EXISTING GAS
- EXISTING OVERHEAD UTILITIES
- EXISTING UTILITY POLE
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB
- EXISTING EVERGREEN TREES
- EXISTING HEDGE ROW
- PROPERTY CORNER MARKER (FOUND)
- PROPERTY CORNER MARKER (FOUND)
- PROPERTY CORNER MARKER (FOUND)
- PROPOSED SEWER EASEMENT HATCH
- PROPOSED UTILITY EASEMENT HATCH
- ABBREVIATION FOR BUILDING SETBACK LINE



DETAIL - REQUIRED CLEAR SIGHT TRIANGLE EASEMENT AT EACH INDIVIDUAL LOT DRIVEWAY

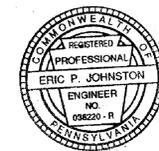


DRIVEWAY POST LIGHT DETAIL
NO SCALE

NOTE: DRIVEWAY POST LIGHTS SHALL BE PLACED 5 FT. OUTSIDE OF THE RIGHT OF WAY LINE
SEE NOTE 11 ON SHEET 1

SURVEY LEGEND:

- IRON PIN TO BE SET
- CONCRETE MONUMENT TO BE SET
- EXISTING IRON PIN (FOUND)
- EXISTING IRON PIPE (FOUND)



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LAND DEVELOPMENT PLAN
TERRA NOVA LAND DEVELOPMENT CO.

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GRAPHIC SCALE

