

FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

EITZERT FARMS - LOT 55

SHREWSBURY TOWNSHIP & SHREWSBURY BOROUGH
YORK COUNTY, PENNSYLVANIA

PREPARED BY
Johnston & Associates, Inc.

2386 TAXVILLE ROAD
YORK, PA. 17408
PHONE: 717-793-9595 FAX: 717-793-9696

SHEET INDEX:

SHEET 1	COVER SHEET
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	SUBDIVISION PLAN
SHEET 4	EASEMENT DESCRIPTION PLAN
SHEET 5	LAND DEVELOPMENT PLAN

ENGINEER:

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED PLANS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SHREWSBURY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THAT THE PROPOSED STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE SHREWSBURY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

Eric Johnston, P.E. #038220-R Date

SURVEYOR:

I DO HEREBY CERTIFY THAT THIS PLAN OF LOTS IS CORRECT, TO THE BEST OF MY KNOWLEDGE, AS PLOTTED AND SHOWN FROM DEEDS AND PLANS OF RECORD, TO THE ACCURACY REQUIRED BY SHREWSBURY TOWNSHIP SUBDIVISION & LAND DEVELOPMENT ORDINANCE.

Surveyor Date

APPROVED BY OWNER/SUBDIVIDER:

TERRA NOVA AT EITZERT FARMS, LLC
5515 LYNCH LANE
BALDWIN, MD 21013
PHONE: 443-610-6597

OWNER Date

COUNTY OF YORK
COMMONWEALTH OF PENNSYLVANIA

ON THIS _____ DAY OF _____, 20____ BEFORE ME, THE UNDERSIGNED OFFICER(S), PERSONALLY APPEARED

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS AND/OR EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THE PLAN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

APPROVED BY THE SHREWSBURY TOWNSHIP SUPERVISORS: DATE

RECOMMENDED FOR APPROVAL BY THE SHREWSBURY TOWNSHIP PLANNING COMMISSION: DATE

REVIEWED BY SHREWSBURY TOWNSHIP ENGINEER: DATE

REVIEWED BY SHREWSBURY CODES ENFORCEMENT OFFICER: DATE

REVIEWED BY THE YORK COUNTY PLANNING COMMISSION

THIS _____ DAY OF _____, 20____

SITE DATA:

SITE AREA:	13.31 ACRES GROSS, 13.25 ACRES NET
ZONING:	AGRICULTURAL
TOTAL NUMBER OF LOTS:	2 TOTAL LOTS (LOT 55 & LOT 55A)
PROPOSED USE:	LOT 55 - WILDLIFE PRESERVE/REFUGE LOT 55A - SINGLE FAMILY DETACHED DWELLING
MINIMUM LOT AREA PERMITTED:	43,560 SF GROSS AREA
MAXIMUM LOT AREA PERMITTED:	50,000 SF GROSS AREA, ON A LOT ON WHICH A NEW PERMITTED USE OTHER THAN AGRICULTURE OR FORESTRY IS PERMITTED
LOT AREA PROPOSED:	LOT 55 - 520,635 SF OR 11.98 ACRES (WILDLIFE PRESERVE/REFUGE IS A REPERMITTED USE THAT BY DEFINITION REQUIRES A MINIMUM LOT AREA OF 10 ACRES, THE 50,000 SF MAX LOT AREA DOES NOT APPLY)
	LOT 55A - 63,384 SF OR 1.44 ACRES (LARGER LOT SIZE PERMITTED BY SECTION 404.1.a.(1)(c))
MINIMUM LOT WIDTH PERMITTED:	200 FT. @ MIN. FRONT SETBACK
MINIMUM PROPOSED LOT WIDTH:	212 FT. (LOT 55A)
SETBACKS:	FRONT SETBACK - 35' (LOT 55A), 25' (LOT 55) SIDE SETBACK - 15 FT. REAR SETBACK - 35 FT.
MAX. LOT COVERAGE PERMITTED:	30%
MAX. BUILDING HEIGHT PERMITTED:	40 FT.
ACCESSORY BUILDINGS & STRUCTURES:	10 FT.
SIDE & REAR SETBACK:	
REQUIRED PARKING:	LOT 55 (WILDLIFE PRESERVE/REFUGE) - 1 PER EMPLOYEE LOT 55A (SINGLE FAMILY DETACHED DWELLING) - 2 SPACES
PROPOSED PARKING:	LOT 55 - 0 EMPLOYEES PROPOSED, 0 PARKING SPACES REQUIRED LOT 55A - 2 PARKING SPACES PROVIDED IN DRIVEWAY/GARAGE
SEWAGE DISPOSAL:	PUBLIC (SHREWSBURY BOROUGH MUNICIPAL AUTHORITY)
WATER SUPPLY:	PUBLIC (YORK WATER CO.)
DEED REFERENCE:	2389-3563
PARCEL IDENTIFICATION NUMBER (PIN):	4500080182

NOTE: THE PURPOSE OF SUBMITTING THIS PLAN TO SHREWSBURY BOROUGH IS FOR REVIEW OF SANITARY SEWER CONNECTIONS ONLY. SHREWSBURY BOROUGH SITE DATA IS NOT REQUIRED.

* APPLICANT PROPOSES PAYMENT OF FEE IN LIEU OF DEDICATION OF RECREATION LANDS.

PLAN PURPOSE:

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE EXISTING LOT 55 INTO TWO (2) LOTS TO BE KNOWN AS LOT 55 AND LOT 55A. LOT 55 IS PROPOSED TO BE A WILDLIFE PRESERVE/REFUGE THAT WILL HOUSE THE MAJOR STORMWATER MANAGEMENT BMPs & MEADOW IMPROVEMENTS FOR THE EITZERT FARMS SUBDIVISION. LOT 55A IS PROPOSED TO BE A SINGLE FAMILY DETACHED DWELLING LOT.

GENERAL NOTES:

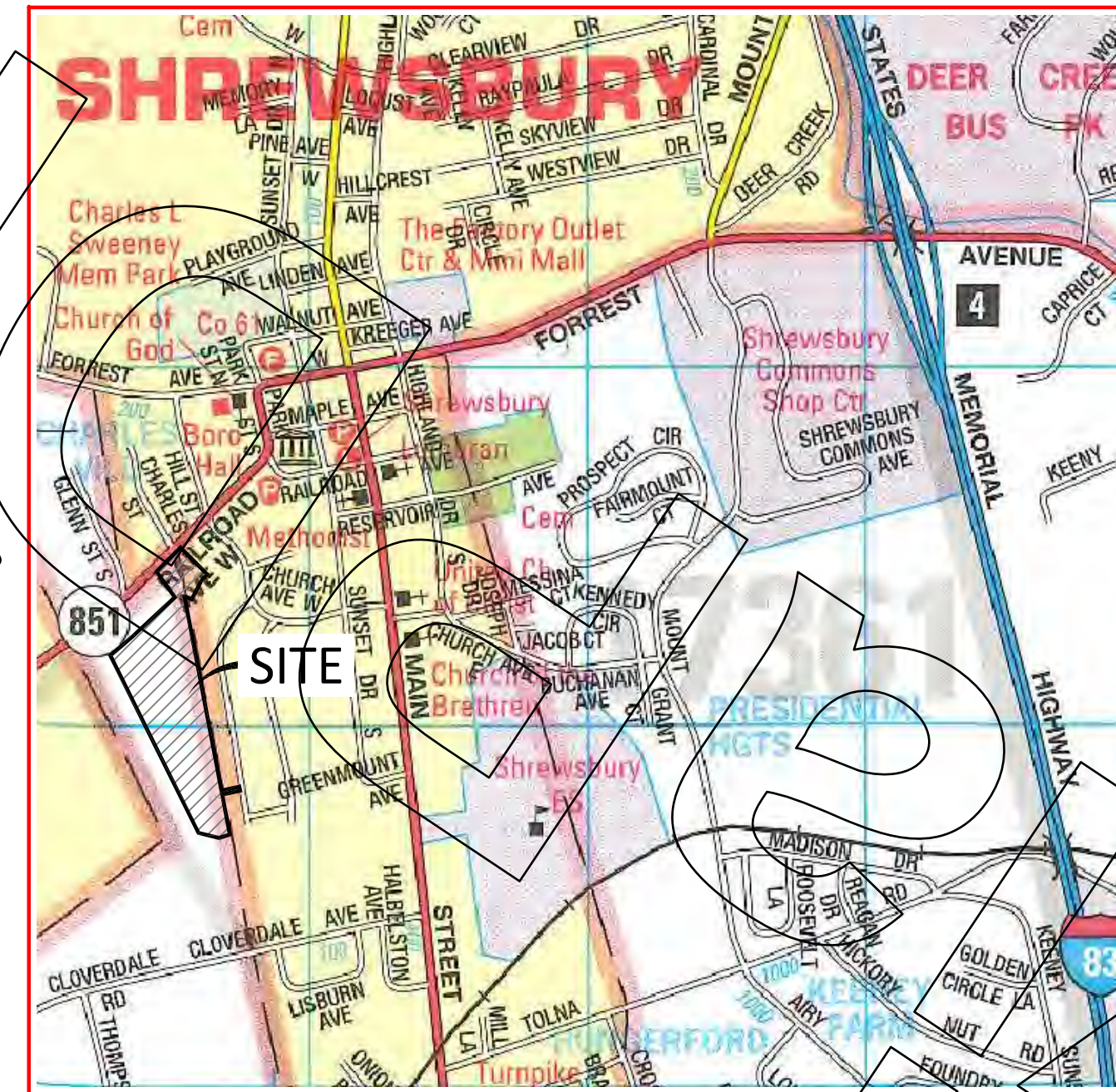
- PERIMETER SURVEY ESTABLISHED BY JON P. MYERS - 30 WEST MAIN STREET, NEW FREEDOM, PA. 17349 PHONE: 717-227-2818, FAX: 717-227-2789. SITE BENCHMARK IS RR SPIKE SET IN POLE (GTE 200 ACROSS FROM HILL STREET). ELEV 958.71. DATUM NAD83 29.
- IRON PINS SHALL BE SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED. TWO (2) CONCRETE MONUMENTS ARE PROPOSED. SEE SHEET 3 FOR LOCATION.
- SHREWSBURY TOWNSHIP SHALL NOT BE RESPONSIBLE FOR ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.
- SHREWSBURY TOWNSHIP, THE SHREWSBURY TOWNSHIP BOARD OF SUPERVISORS, AND THE SHREWSBURY TOWNSHIP PLANNING COMMISSION DO NOT WARRANT AND ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE PROPOSED LINES SET FORTH UPON THIS SUBDIVISION PLAN NOR DO THEY WARRANT THE TITLE TO THE PROPERTY SET FORTH UPON SUCH PLAN. RATHER, THEY RELY UPON THE REPRESENTATIONS MADE BY THE SUBDIVIDER, LAND DEVELOPER, ENGINEER AND SURVEYOR WHO HAVE PREPARED THE PLAN.
- SOLID WASTE DISPOSAL SHALL BE COLLECTED BY A CERTIFIED HAULER.
- NO WETLANDS ARE LOCATED ON THE SITE BASED UPON A SITE INVESTIGATION PERFORMED BY JOHNSTON & ASSOCIATES, INC. ON OCTOBER 20, 2016.
- NO FLOODPLAINS OR FLOODWAYS ARE LOCATED WITHIN THE AREA PROPOSED FOR DEVELOPMENT.
- NO BUILDING RESTRICTIONS OR PROTECTIVE COVENANTS ARE PROPOSED.
- ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND SHOULD BE VERIFIED PRIOR TO ANY EARTH MOVING ACTIVITIES. PA LAW REQUIRES THREE (3) WORKING DAYS NOTICE BEFORE ANY EXCAVATION, BLASTING OR DEMOLITION TAKES PLACE. CALL PA ONE CALL SYSTEMS AT 1-800-242-1778.
- PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ENOUGH TOPSOIL SHALL BE SPREAD ON DISTURBED AREAS OF THE SITE TO PROVIDE A MINIMUM OF NINE (9) INCHES OF TOPSOIL THROUGHOUT THE VEGETATED AREAS OF THE SITE.
- A PRIVATE, OWNER MAINTAINED DRIVEWAY STREET LIGHT IS TO BE INSTALLED ON LOT 55A AT THE DRIVEWAY ENTRANCE. THE DWELLING LOT MUST UTILIZE FIFTY WATT (MINIMUM) HIGH PRESSURE SODIUM POST LIGHTS AND BE EQUIPPED WITH AN ELECTRIC EYE. THE PROPERTY OWNER MUST MAKE ADEQUATE PROVISION TO ENSURE THE PERPETUAL MAINTENANCE OF SAID DRIVEWAY STREET LIGHTS AND TO ENSURE THE ELECTRIC EYE IS NOT MODIFIED OR ADJUSTED BY THE OWNER SO AS TO PRECLUDE THE LIGHT FROM FUNCTIONING AS DESIGNED.
- DRIVEWAY SLOPE SHALL NOT EXCEED 5% WITHIN 25 FEET OF ITS INTERSECTION WITH A STREET.
- NO BUILDING OR CONSTRUCTION IS PERMITTED WITHIN CLEAR SIGHT TRIANGLES. HOWEVER, OBSTRUCTIONS OR PLANTINGS LESS THAN THREE (3) FEET IN HEIGHT SHALL BE PERMITTED. IF NOT OBSTRUCTING THE VIEW OF TRAFFIC, POST COLUMNS AND TREES NOT EXCEEDING ONE (1) FOOT IN DIAMETER SHALL BE PERMITTED.
- ALL SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SHREWSBURY BOROUGH MUNICIPAL AUTHORITY. ALL UTILITIES AND STRUCTURES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE SHREWSBURY BOROUGH MUNICIPAL AUTHORITY CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL CONFORM TO THE AUTHORITY'S PLAN, DESIGN AND CONSTRUCTION STANDARDS FOR SANITARY SEWERS UNLESS SPECIFIC WAIVERS ARE GRANTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION.
- ALL WATER CONSTRUCTION AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF THE YORK WATER COMPANY.
- THE LOT 55A ON LOT STORMWATER MANAGEMENT BMPs (SEEPAGE BED & SOIL AMENDMENTS) SHALL BE OWNED, OPERATED AND MAINTAINED BY THE LOT 55A OWNER. MAINTENANCE SHALL CONSIST OF KEEPING THE INLET GRATE FREE OF DEBRIS, REPAIRING OR REPLACING PIPES, AND ANY OTHER EFFORT NECESSARY TO ENSURE THAT ALL STRUCTURES REMAIN FUNCTIONAL AT ALL TIMES. IF THE TOWNSHIP DETERMINES AT ANY TIME THE STORMWATER MANAGEMENT FACILITIES HAVE BEEN ELIMINATED, ALTERED OR IMPROPERLY MAINTAINED, THE HOME OWNERS ASSOCIATION SHALL BE ADVISED OF CORRECTIVE MEASURES REQUIRED AND GIVEN SIXTY (60) DAYS FROM THE DATE SUCH NOTICES ARE SENT TO TAKE NECESSARY CORRECTIVE ACTION AND THE PROCEDURES OF SECTION 517.8 SHALL APPLY. THIS NOTE SHALL APPEAR IN THE RECORDED DEEDS FOR ALL LOTS.
- THE LOT 55 WET PONDS #1 & #2 AND MEADOW AREA AND THE LOT 55A BIORETENTION AREA SHALL BE OWNED, OPERATED AND MAINTAINED BY THE EITZERT FARMS HOMEOWNERS ASSOCIATION. MAINTENANCE SHALL CONSIST OF KEEPING THE INLET GRATE FREE OF DEBRIS, REPAIRING OR REPLACING PIPES, AND ANY OTHER EFFORT NECESSARY TO ENSURE THAT ALL STRUCTURES REMAIN FUNCTIONAL AT ALL TIMES. IF THE TOWNSHIP DETERMINES AT ANY TIME THE STORMWATER MANAGEMENT FACILITIES HAVE BEEN ELIMINATED, ALTERED OR IMPROPERLY MAINTAINED, THE HOME OWNERS ASSOCIATION SHALL BE ADVISED OF CORRECTIVE MEASURES REQUIRED AND GIVEN SIXTY (60) DAYS FROM THE DATE SUCH NOTICES ARE SENT TO TAKE NECESSARY CORRECTIVE ACTION AND THE PROCEDURES OF SECTION 517.8 SHALL APPLY. THIS NOTE SHALL APPEAR IN THE RECORDED DEEDS FOR ALL LOTS.
- THE LOT OWNERS HEREBY ACKNOWLEDGE THAT STORMWATER MANAGEMENT BMPs ARE TO BE PERMANENT FIXTURES WHICH CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY SHREWSBURY TOWNSHIP. THIS NOTE SHALL APPEAR IN THE RECORDED DEEDS FOR ALL LOTS.
- A 10' WIDE UTILITY AND STORMWATER EASEMENT SHALL EXIST ALONG ALL SIDE AND REAR PROPERTY LINES UNLESS OTHERWISE SHOWN.

WAIVERS:

- SLDO SECTION 601.3 - LOCATION OF MONUMENTS (PERMIT REDUCED NUMBER OF MONUMENTS)
APPROVED: _____
- SLDO SECTION 505.1 - STREET WIDENING (NO WIDENING PROPOSED AT THIS TIME)
APPROVED: _____
- SLDO SECTION 603 - CURB (NO CURB PROPOSED AT THIS TIME)
APPROVED: _____

NON BUILDING DECLARATION :

AS OF THE DATE OF THIS PLOT PLAN RECORDING, NO FACILITY OR BUILDING WILL BE ERRECTED ON PROPOSED LOT 55 THAT WILL RESULT IN THE GENERATION OF SEWAGE. NO PORTION OF PROPOSED LOT 55 HAS BEEN APPROVED BY THE MUNICIPALITY OR THE DEPT. OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR PROPOSED LOT 55 DESCRIBED HEREON IN ACCORDANCE WITH THE PA. SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF PROPOSED LOT 55 SHOULD CONTACT APPROPRIATE OFFICIALS OF THE MUNICIPALITY WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS.



LOCATION MAP

SCALE: 1" = 1000'

PARCEL HISTORY

SIZE OF PARCEL AS IT EXISTED NOVEMBER 10, 1976:
NUMBER OF DWELLING UNITS ALLOCATED:
NUMBER OF DWELLING UNITS PREVIOUSLY USED:

LOT NUMBER	UPI NUMBER	USE	APPROVAL DATE	RECORDING INFORMATION	DWELLING UNITS	ACREAGE

NUMBER OF DWELLING UNITS TO BE UTILIZED WITH THIS PLAN: 1

LOT NUMBER	USE	DWELLING UNITS	ACREAGE
55A	SINGLE FAMILY	1	
	DWELLING		
55	WILDLIFE PRESERVE/ REFUGE	0	

NUMBER OF DWELLING UNITS REMAINING: 1
DWELLING UNITS ASSIGNED TO LOTS: 0
REMAINING SIZE OF PARCEL:

UNIFORM PARCEL IDENTIFICATION NUMBERS		
LOT NUMBER	PROPERTY ADDRESS	UPI NUMBER
55		
55A		

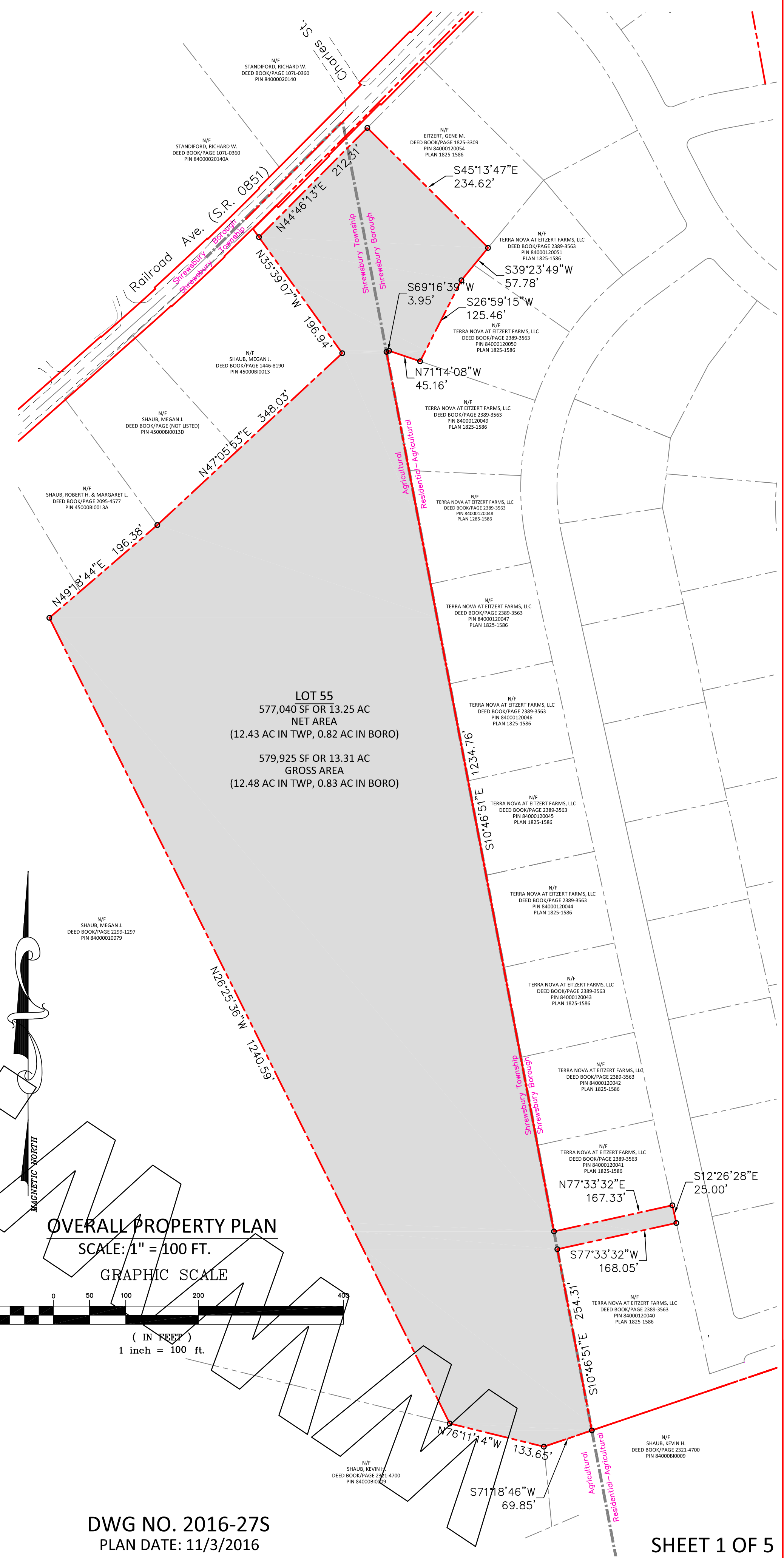
AGRICULTURAL DISTRICT WARNING:

WARNING: THE DWELLING LOT OR LOTS PROPOSED BY THIS SUBDIVISION PLAN ARE IN THE AGRICULTURAL DISTRICT. THE PRIMARY USE OF SUCH DISTRICT IS AGRICULTURAL AND RESIDENTS MUST EXPECT THINGS SUCH AS THE SMELL OF FARM ANIMALS AND THE MANURE THEY PRODUCE, TOXIC CHEMICAL SPRAYS, SLOW MOVING AGRICULTURAL MACHINERY ON LOCAL ROADS AND OTHER BY-PRODUCTS OF AGRICULTURAL ACTIVITY.

WOODLAND RETENTION REQUIREMENTS

TREE REMOVAL SHALL NOT EXCEED FOURTEEN THOUSAND (14,000) CONTIGUOUS SQUARE FEET ON EACH PROPOSED LOT. SEE NOTES BELOW:

- A building envelope, marked by permanent monuments, shall be located on each proposed, approved lot. All structures and related improvements shall be located within this building envelope.
- If the lot owner designates the building envelope, a use certificate must be issued by shrewsbury township prior to the removal of any trees.
- Permanent monuments shall be placed and maintained along the building envelope perimeter.
- Protective barriers shall be installed along the perimeter of the building envelope prior to land clearing or tree removal and kept in place until issuance of an occupancy permit.
- The wooded area outside of the building envelope shall be maintained at all times as a woodland with an adequate number of stocking of native, overstory trees (deciduous or conifers) suitably spaced so as to assure a full canopy of trees. In this regard, if any overstory trees die or are removed they should be replaced by native overstory trees, if necessary, to assure a full canopy of trees.
- The wooded area outside of the building envelope shall be maintained at all times in leaf litter or the natural forest floor. These areas shall not be graded, filled or converted to lawns or gardens.



DWG NO. 2016-275
PLAN DATE: 11/3/2016